



Disclaimer to accompany the Preston-on-Stour Conservation Area Review

This July 1998 Roger Evans Associates report is the result of an independent survey and analysis of the buildings and landscape form of Preston on Stour

It identifies the architectural, historical and environmental qualities of the settlement and gives recommendations for the continuing preservation and enhancement of the Conservation Area. It was undertaken for and behalf of Stratford-on-Avon District Council. The report was used to inform boundary alterations to the conservation area that were approved by the District Council's Planning Committee on 18 March 1998.

The Committee also resolved that the contents of the report should form the basis of a fully published document, available for purchase from the District Council. Whilst the formal publication was never produced for purchase the contents of the draft report has been accepted as material consideration to inform planning decisions and appeals.

PRESTON on STOUR
Conservation Area Review
July 1998
for Stratford on Avon District Council

ROGER EVANS ASSOCIATES

1. General Introduction

1.1 Definition

The statutory definition of a conservation area is an "area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance." Conservation Areas are normally centred on listed buildings and pleasant groups of other buildings, open space, or an historic street pattern. A village green or features of archaeological interest may also contribute to the special character of an area. It is however the character of areas, rather than individual buildings, that such a designation seeks to preserve or enhance. The most recent legislation dealing with Conservation Areas is the Planning (Listed Buildings and Conservation Areas) Act, 1990 (Sections 69 to 78).

1.2 Designation

Preston on Stour Conservation Area was originally designated in 1979 under the Civic Amenities Act 1967. With the passage of time it has become appropriate to assess the character of the area to decide whether the boundary should be redefined to take account of changing circumstances.

Designation should be seen as only a preliminary stage in the conservation process as the Town and Country Planning legislation requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area. In doing this the emphasis will be on control rather than prevention, to allow the area to remain alive and prosperous but at the same time to ensure that any new development accords with its special architectural and visual qualities.

1.3 Pressures

If we do not take steps to protect and reserve buildings of value, either in their own right or because of the contribution they make a pleasant townscape or village scene, they may well be lost, and once lost, they cannot be placed. It should, however, be remembered our heritage is the product of many centuries of evolution and it will continue to evolve. Few buildings exist now in the form in which they were originally conceived. Conservation allows for change as well as preservation and our architectural heritage has to be able to accommodate

not only changes of use but also building nearby. This can be done provided the new buildings are well-designed and follow fundamental architectural principles of scale and the proper arrangement of materials and spaces and show respect for their neighbours. Conservation means breathing new life into buildings, sometimes by restoration, sometimes by sensitive development, sometimes by adaptation to a new use and always, by good management. Taking decisions on matters concerning listed buildings and conservation areas involves balancing many factors.

1.4 Response

Historic buildings and conservation areas are vitally important to the environmental quality of life in this country. Buildings of architectural and historic merit should receive very special attention. Local authorities stand in the vanguard of those protecting historic buildings and areas. The Secretary of State expects them to make diligent use of all the powers available to them. Public opinion is now overwhelmingly in favour of conserving and enhancing the familiar and cherished local scene, and, it is expected that authorities should take account of this when framing their policies affecting historic buildings and conservation areas.

1.5 Review

In 1990 Stratford-on-Avon District Council began a complete review of existing conservation areas. This report is a result of that exercise.

The report has been approved by the District Council on 18th March 1998 as its formal view on the amended Conservation Area. It is divided into 5 sections dealing with location; history and development; characteristics of the conservation area; landscape features; the future of the Conservation Area; in addition are listed building and settlement analysis appendices, the conservation area policies leaflet.

This document is not exhaustive, and further advice and information can be obtained the Planning Department, Stratford-on-Avon District Council.

2. Introduction

2.1 Location

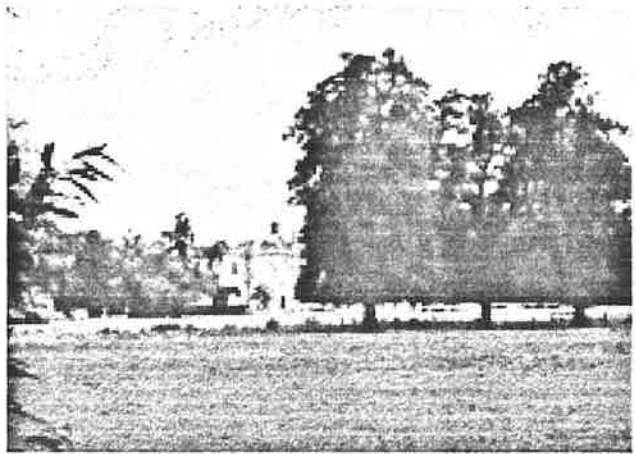
Preston on Stour is hidden away behind Alscot Park, a kilometre west of the A3400 Stratford upon Avon to Shipston on Stour Road. Although only 5 km south of Stratford, the village is secluded and hard to find, approached by small lanes from the south and west. The most significant is Preston Lane which links the village to the A3400. The parish extends eastwards across the A3400 to incorporate the Alscot estate and southwards to include a handful of farmsteads, but the population (171 in 1991) is concentrated within the village.

As a point of reference in the following descriptions, there are no individual street names within the village, but numbers are used for each house.

2.2 Topography

Preston lies on ground sloping steeply from the wooded west bank of the River Stour, and rising in the north-west to 85 metres above sea level at Atherstone Hill. The village itself is sheltered below the hilltop, lying between 65 metres and 40 metres where Preston Lane crosses the river to the south-east. This setting provides some magnificent views from the upper areas of the village across the rooftops to the steep slopes of the east side of the Stour valley above Alderminster, and southwards towards landmarks such as Brailes Hill and the Cotswolds on the horizon.

To the east the river valley is flat and broad, providing the setting for Alscot Park. The river splits here, creating a small island. The margins are



Atherstone Park view from Preston Lane at the bridge

densely wooded and create a strong and clear separation between the park and the village. Above the settlement the landscape is open and exposed farmland: a strong contrast to the green and intimate character of the village itself.

2.3 Special Land Classifications

Alscot Park is listed as a park of special historic interest (grade II) on English Heritage's Register of Parks and Gardens of Special Historic Interest. It overlaps the eastern edge of the conservation area on the bank of the river Stour.

The park and the river both have ecological classifications, (Ecosites 20/25 and 44/25 respectively).

2.4 Morphology

Preston's origins are as a farming community, and a number of building groups, such as Park Farm and Lower Farm, are reminders of this. In the centre of the village is a green which would have been a communal place to gather and graze livestock. The pattern of lanes radiates from this focus, with additional secondary lanes providing access between buildings and into the surrounding fields. Buildings were sited close to roadsides or around yards: this maximised usable outdoor space, and results in well defined public space and relatively narrow lanes.

Superimposed on this early structure is the nineteenth century development of the main street related to the Alscot Estate. The village form created by the rows of paired estate houses and the school is quite inconsistent with the informality of the older pattern, but the detailed quality of its architecture, and now its maturity, have helped it to settle in. The straight lines of the layout and the regular set-backs of building faces behind little front gardens are in

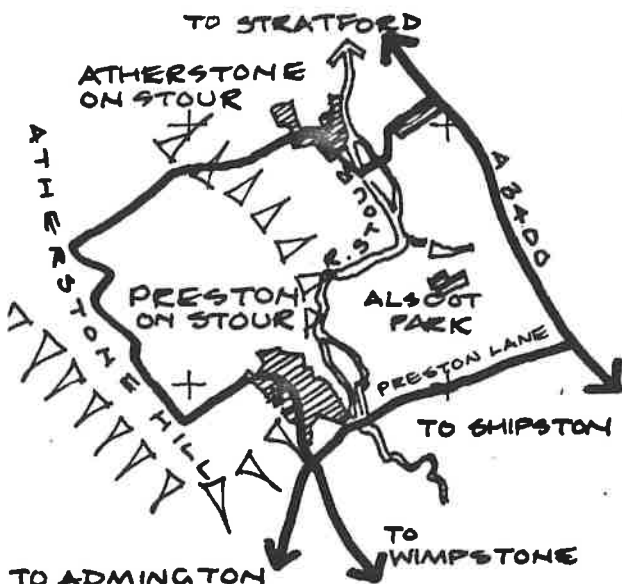


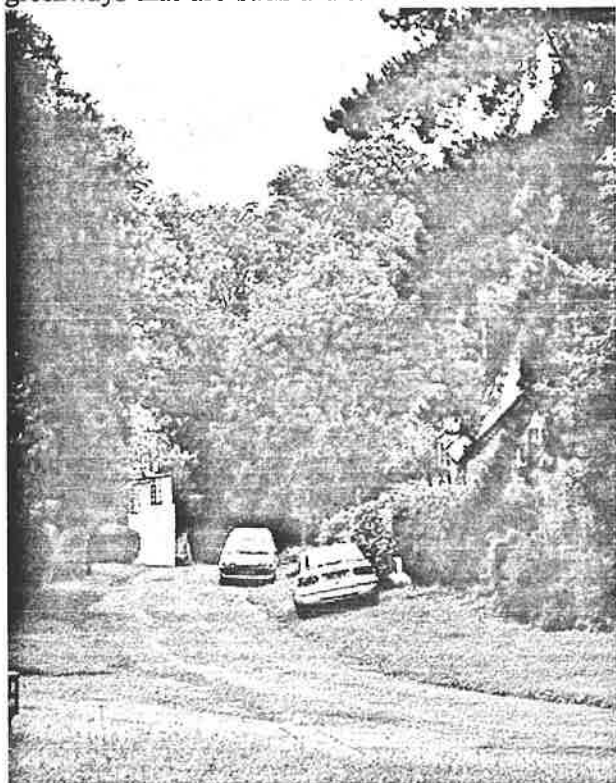
Figure 2.1 - Location and Topography



Main Street- to a Victorian "Model Village" plan
marked contrast to the positioning of original farm buildings on village lanes.

This street has now come to dominate the layout of the village, although it seems probable that the greenway that forms the western edge of the village from Preston lane past St. Mary's Church to Top Lodge was once the most important thoroughfare. It led to a cross-roads at Top Lodge, and was the main access to the church, which stands in a dominating position above the village. Links run both sides of the church into the green at the village centre, but are no longer through roads.

Preston on Stour is fortunate apparently to have retained most of the lanes that provided links within the village, although many of them have not remained as vehicular roads. They have become the greenways that are such a distinctive feature. It has



The leafy lanes of the mediaeval village

also had to accommodate relatively little modern development: Penny Meer and Meadowcroft on the lane north of the green are the only examples, their suburban style open front gardens and deep set-backs from the road at odds with the general character of leafy lanes and strong boundaries.

2.5 Building Character and Materials

There are two distinct eras of building represented in Preston which each has its own palette of materials. The older buildings are timber framed, with steep roofs and low eaves, which would originally have been thatched. Only no. 42, appropriately "The Old Thatch", still has this material. Frames are usually of an open box design, braced and infilled with brick, which in many instances is whitewashed. Some of the oldest examples have close vertical studding infilled with plaster: others have elaborate carved members. Typically, framed buildings are constructed on plinths of stone or rubble.

Brick became the preferred material for all buildings from the 18th century. Colours are in varying shades of light and orange red: roofs are generally covered in brown clay tiles. This combination comes to the fore in the estate houses on the main street, where the basic pattern is enhanced with fish-scale tiles, decorative clay ridges and ashlar stone details to openings and gables. The architecture is typified by 45° roofs, deep eaves, gabled dormers and elaborate tall chimney stacks in a kind of "arts and crafts Gothick" which emulates some of the details of the finer earlier buildings. Later changes to other older buildings also pick up on this style, particularly in the use of tiled gabled dormers and tall chimney stacks.

The theme of red brickwork is also carried through in numerous boundary walls and outbuildings. There is very little stone, except for the warm golden buff limestone of St. Mary's Church. In the main street ironwork railings form front boundaries in many places.

Despite the differences of the two building traditions there is much to unify them, such as the consistent use of brown plain tiles and light red brickwork. There is also strong empathy in building form, with steep overhanging roofs and tall chimneys. Other details are also reflected in both styles - for example wide window openings with side-hung casements, and small lead or decorative panes. It is important that new building, while not trying to ape the more individualistic details of these buildings, should observe their scale and form and select from the same palette of materials.

3. History and Development of the Settlement

The earliest mention of Preston relates to the manor which was given by Ethelric to the priory of Deerhurst in 804. It remained with Deerhurst until 1467, when it was transferred with the priory to Tewkesbury Abbey. Because of this ecclesiastical association, Preston was administered as part of Gloucestershire until 1931.

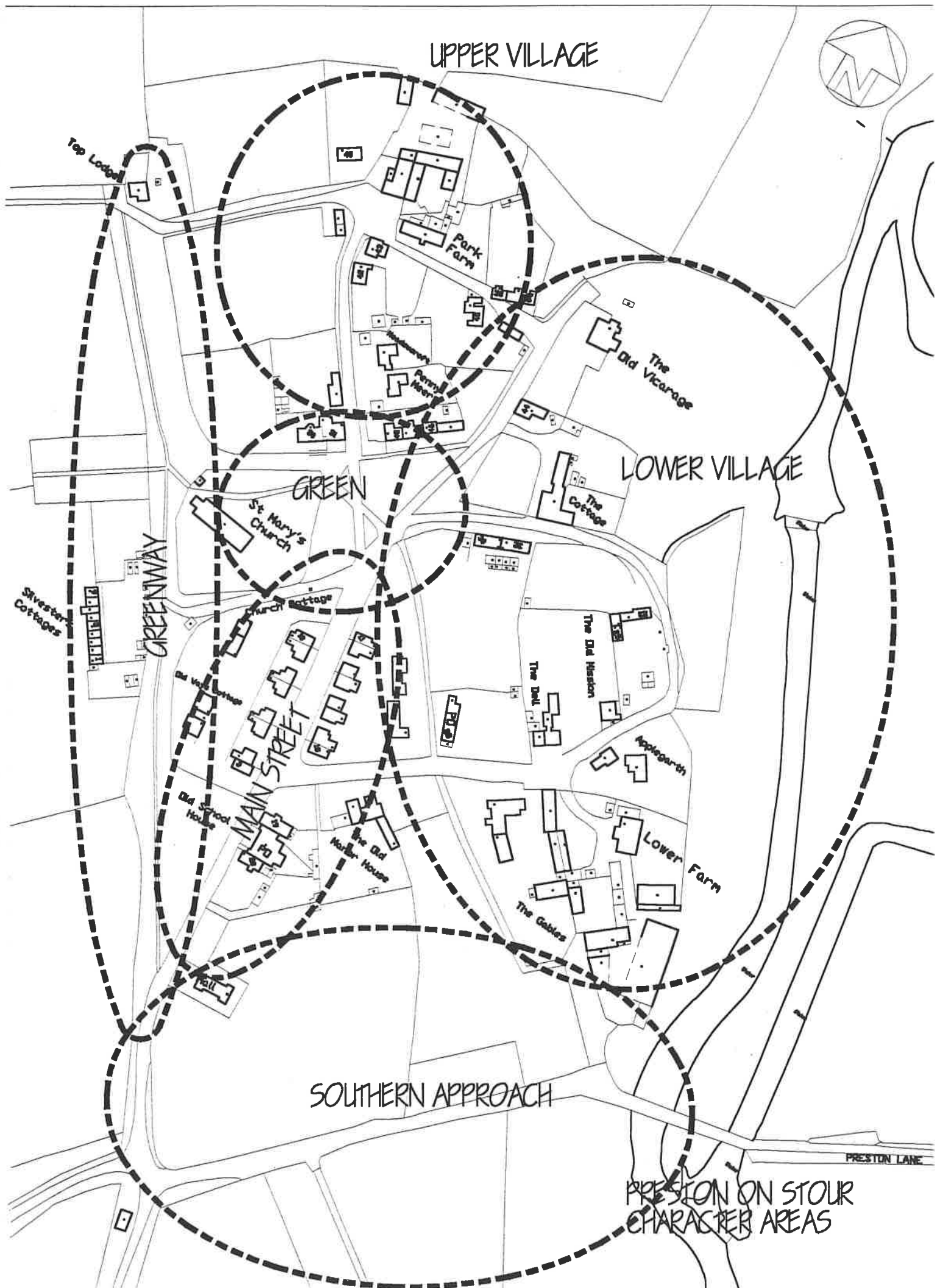
Preston has always been closely associated with Alscot. At the time of the Domesday Survey the whole parish may have formed a single manor and agricultural unit: Preston and Alscot became physically distinct later. The earliest record of Preston Church is 1272: now St. Mary the Virgin, it was previously known as St. Peter the Apostle. It is believed that Alscot had a mediaeval chapel, although there is no documentary evidence. Following the dissolution of the monasteries in the early 16th century, ownership of the manor changed hands several times until acquired by the West family in 1747.

Alscot Park had been established since 1401 on the east side of the river Stour, and it was used as the home of the Lords of the Manor from the 16th century. It was gradually enlarged to some 200 acres, and as a result of this expansion the settlement of Alscot itself (first identified separately in 1248) was reduced to one house by 1534. The estate gradually absorbed others in the parish, and the process was formally completed by the 1760 Enclosure Act. Preston's economic fortunes were closely linked to changes at Alscot Park. Its enlargement resulted in a move from arable and mixed farming to meadow and permanent pasture.

Despite Alscot's demise, Preston grew steadily. Milling was recorded in 1287, a merchant in 1327, and in 1496 two mills, a fishery, and a new water mill on one of the arms of the river. In the mid 16th century there were 18 families, and 24 by 1650 when the population included a baker, butcher, carpenter, wheelwright and a tailor. There were 36 families by the early 18th century, including those of a surgeon from 1736, and alehouse keeper from 1755. At 1801 the census recorded 60 families and a population of 267.

The West family invested significantly in Preston. The church was substantially rebuilt from 1753, leaving few identifiable mediaeval elements (except the late 15th century tower). In 1818 they set up a school for 10 pupils, and in the 1850s many of the older cottages were demolished to make way for the "model village" development of the present day main street. In common with most of rural Warwickshire, the population boomed in the mid nineteenth century - to 421 in 1851 - only to slump back to earlier levels (273 in 1901) with emigration to the cities and abroad.

There has been little building since then. The population was temporarily swollen around the time of the Second World War when an airfield was built at Atherstone on Stour, but this was well to the north-east of Preston. Otherwise it has settled at about 170 in 72 households, as family sizes have decreased; and there has been very little new post-war development. Preston on Stour remains, as the Victoria County History described it in 1964, "small and sequestered".



UPPER VILLAGE

LOWER VILLAGE

GREEN

SOUTHERN APPROACH

PRESTON ON STOUR
CHARACTER AREAS

PRESTON LANE

GREENWAY

MAIN STREET

St Mary's Church

Park Farm

The Old Vicarage

The Cottage

The Old Mission

The Dull

Applegarth

Lower Farm

The Gables

The Old Harrier House

Church Cottage

Old Vicarage

Old School House

Stiverson Cottages

Top Lodge

4. The Character of the Conservation Area

The existing conservation area includes all of the built area of the village, and includes the west bank of the Stour and the approaches from Preston Lane. Overall it has a very consistent character, unified by the greenness and intimacy of gardens and mature trees: this contrasts with the openness of Alscot Park east of the village and farmland to the west. There are nevertheless distinct areas within the village which reflect both physical changes in level and different building periods.

4.1 The southern approach

The main approach to Preston on Stour is along Preston Lane, crossing the River Stour on two bridges. Their plain white painted steel railings are unattractive and a little obtrusive, but they are an effective marker of the "gateway" to the village. Before reaching the bridges, one is strongly aware of Alscot Park on the right. Initially the lane runs very straight, flanked by tall trees and a 3 metre high brick wall which bounds the estate; then nearer the river it opens out to give broad views across meadows to the mansion itself.



Main approach to Preston from the south

Crossing the bridges, however, the approach loses definition until the cross-roads south of the village. At this junction the lane into the village is a sharp right turn, which then curves between narrow neatly mown verges and low trees before opening into a long straight view up into the main village street.

4.2 The main street

The charm of the main street lies in the architectural quality of the estate cottages that line each side. The street itself is straight, dominated by asphalt, and surfaces such as a new footpath on the east side are insensitively handled with concrete kerbs



Typical pair of estate cottages in the Main Street

and loosely bound tarmac. Outside the working day parked vehicles also crowd both sides of the street.

The front boundaries of the cottages are important to the street scene, and are most effective where they are either dense evergreen hedges or low brick walls, or both. In some places they have been allowed to disappear or be replaced by other materials. Front gardens are short, so that the line of the cottages themselves is important to defining the breadth of the street, and garden planting has less impact than in other parts of the village. The consistency of treatment and scale is most important to this style of street, and every effort should be made to enhance it.

The strong architectural character of the cottages on the main street is summarised above (section 2.5); particularly its distinctive gabled form and wealth of careful detail. All of the buildings are listed (grade II), built between 1848 and 1860 - detailed descriptions are included in the listings in appendix A. The earliest, and perhaps most picturesque, is the former school, which differs from the cottages in having parapeted rather than overhanging gables. Now used in part as the village post office and stores it has some other notable details, such as a clock in the north gable and a bell-cote above the old school room.

A footpath runs behind the east side of the main street, which is probably a remnant of one of the early village lanes which linked to the green. It forms a boundary with the lower village area (see 4.5). It is mentioned here primarily to draw attention to outbuildings behind the main street which are contemporary with the estate cottages and designed in the same style. They are in a very poor state of repair, and thought should be given to how they might be re-used and saved.



The village green with the churchyard on the left

4.3 The green

The main street leads up into the central green. Here a quite different, much more rural atmosphere prevails. The space is well defined by the frontages of houses on the north side of the green - The Old Bakery, a formal 18th century red brick house; and nos. 46 to 48, a decorative black-and-white half timbered house dating from the 16th century, originally three cottages. Between them they provide a neat summary of the main architectural elements to be found in Preston.

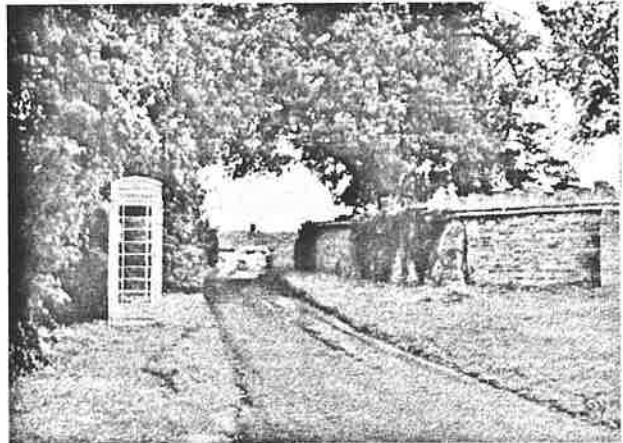
The green is large and roughly triangular, its mown swards divided by the neat lines of roadways which radiate to all parts of the village. Tall, mature trees provide height to define the other two sides, with glimpses into lanes running down to woods in the river valley to the east. On the upper, west side



The memorial cross

of the green the tall brick retaining wall of St. Mary's churchyard is a strong edge at eye level. The focal point is a stone cross, but other details around it, such as the stone gate-pillars to the churchyard and a red telephone box, also engage the eye.

The green is clearly very important to the village - it is not just a visual focus but also the site for village events. The key components are those elements which define it - i.e. the building frontages on the north side, but most crucially the mature hedges and tall trees which surround it. It is important that these continue to be preserved and well managed.



View west from the village green, with listed telephone box

4.4 The upper village

A narrow lane leads out between the walls of the houses on the north side of the green. Initially it runs between field hedges, although broken out on the east side to provide the plots for two modern houses in the suburban style described in section 2.4, above. It rises steeply to terminate in a distinctive little space at Park Farm. Here houses and working buildings abut the roadway, creating a sense of enclosure. Lanes lead off east and west, one steeply downhill under a dense tree canopy and between high walls and hedges to squeeze between buildings at the bottom, the other upwards into open space outside the village.

The buildings include some of the oldest in the village, and there has relatively little "tidying up", so that there is an air of unspoiled antiquity. On the other hand, the brick barn on the corner diagonally opposite Park Farm (for example), which contributes to this atmosphere, is in a very poor state and requires attention to ensure that it remains. Park Farm, too, has a working yard which is valuable to the character of the area, but also has some unsightly elements such as rusting tanks and dilapidated outbuildings.



View south towards the green from "Old Thatch"

The conservation approach here should be to preserve the buildings which define the space so effectively, while removing some of the more intrusive elements. If there is a weak point, it is the north west corner of the space, where some more robust planting could complete its enclosure. There could be some improvement to ground surfaces, but at the same time care should be taken not to neaten the area excessively and risk losing its rustic charm.

4.5 The lower village

Narrow lanes lead downhill towards the river from Park Farm, the green and the main street. There is no direct access to the river, and dense woodland obscures any view of it. In fact, it is the heavily wooded nature of the area that sets its character, and the trees provide a high green backdrop to the east side of the village.

One lane loops from the post office on the main street down to Lower Farm and back up to the green. At its upper levels it is well defined by walls and hedges: "The Cottage" and the row of low cottages opposite (nos. 30, 31 and 32) abut the lane directly. "The Old Manor House" and "The Gables" are hidden behind dense cypress hedges, which are out of keeping with the more lightly wooded character of the lane generally.

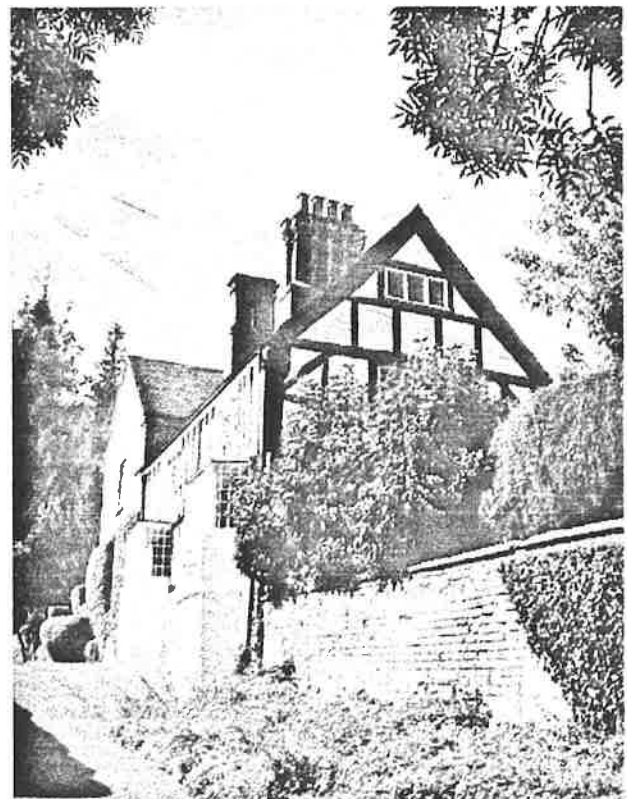
Lower down it is much more loosely defined, meandering amongst trees and with relatively open aspects onto houses such as Applegarth and Sylvester's Cottage (nos. 23 to 25 - n.b. this name is also given to the row south of St. Mary's Church). The dense tree canopy overhead nevertheless has a slightly oppressive effect, and one is very aware of being in the valley bottom.

The lane from the green to "The Old Vicarage" is of a much more open character, although again

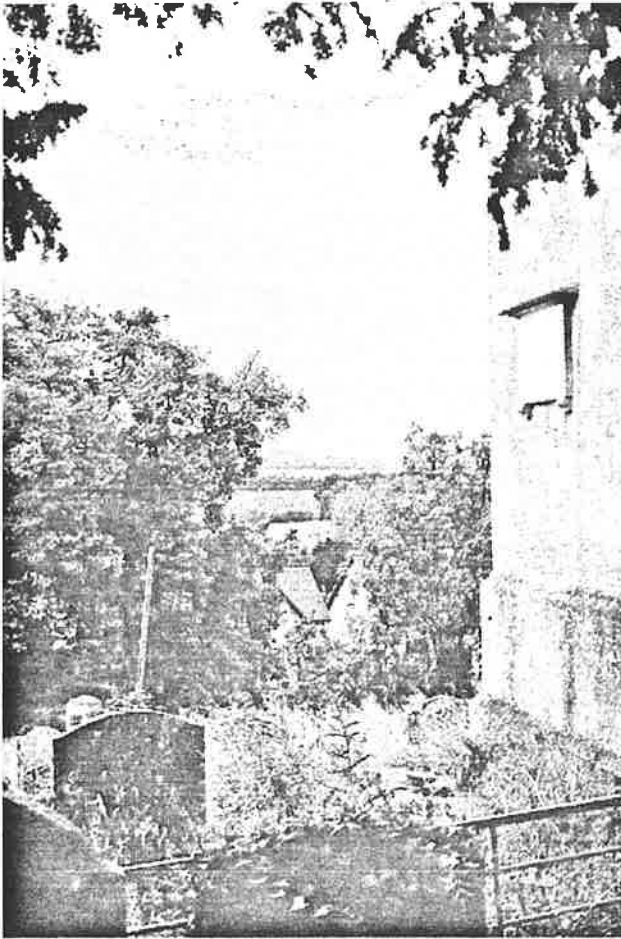
characterised by many mature trees. A simple brick cottage leads the eye from the green into the lane, and then for most of its length a 1.2 metre high brick wall continues the line of sight. At the Old Vicarage the road stops, but continues as a footpath through woodland.

At this point the connecting lane to Park Farm leads westwards, up steeply between "Old Forge Cottage" (no. 45) and nos. 36 to 38 opposite. The abundance of warm natural materials in buildings and walls, the richness of garden planting and overhanging trees, and the glimpses up the steep winding slope of the lane make this one of the most charming corners of Preston. The narrow lane is reminiscent of a path through a private, hidden garden, leading in unexpected contrast to the openness of the upper village at Park Farm.

As well as the quality of the older buildings, the mature informality of their green setting is the essence of the character of the lower village. In the area around Lower Farm there is less consistency: perhaps a tendency to lose informality by the introduction of more ordered suburban elements, such as formal hedges, non-indigenous species and open lawns. There are also areas which are neglected and overgrown. The area around Old Forge Cottage shows how a naturalistic managed approach can apply in both gardens and woodland settings.



View up to "The Cottage"



View east from the churchyard

4.6 The greenway

The greenway is Preston on Stour's unique feature. It extends from the entrance to the village on the main street in the south to its north-west corner where the lane leaves the village over Atherstone Hill; from almost the lowest point of the village to its highest. At the southern end it is marked by an open, sloping green beside the main street, and at the northern end by Top Lodge, a pretty single storey gate-house in decorative brick, built for Alscot Park in 1860.

The whole of the greenway is grassed, with no vehicular access. Because of its elevation, there are distant views from almost every point along it, and the roofscape of the lower part of the village is particularly important in the foreground. Its western boundary, which forms the western edge of the village, is a mature hedge in which many specimens

are growing into small trees. On its eastern side St. Mary's Church and tall trees in the churchyard frame vistas to the horizon along its length.

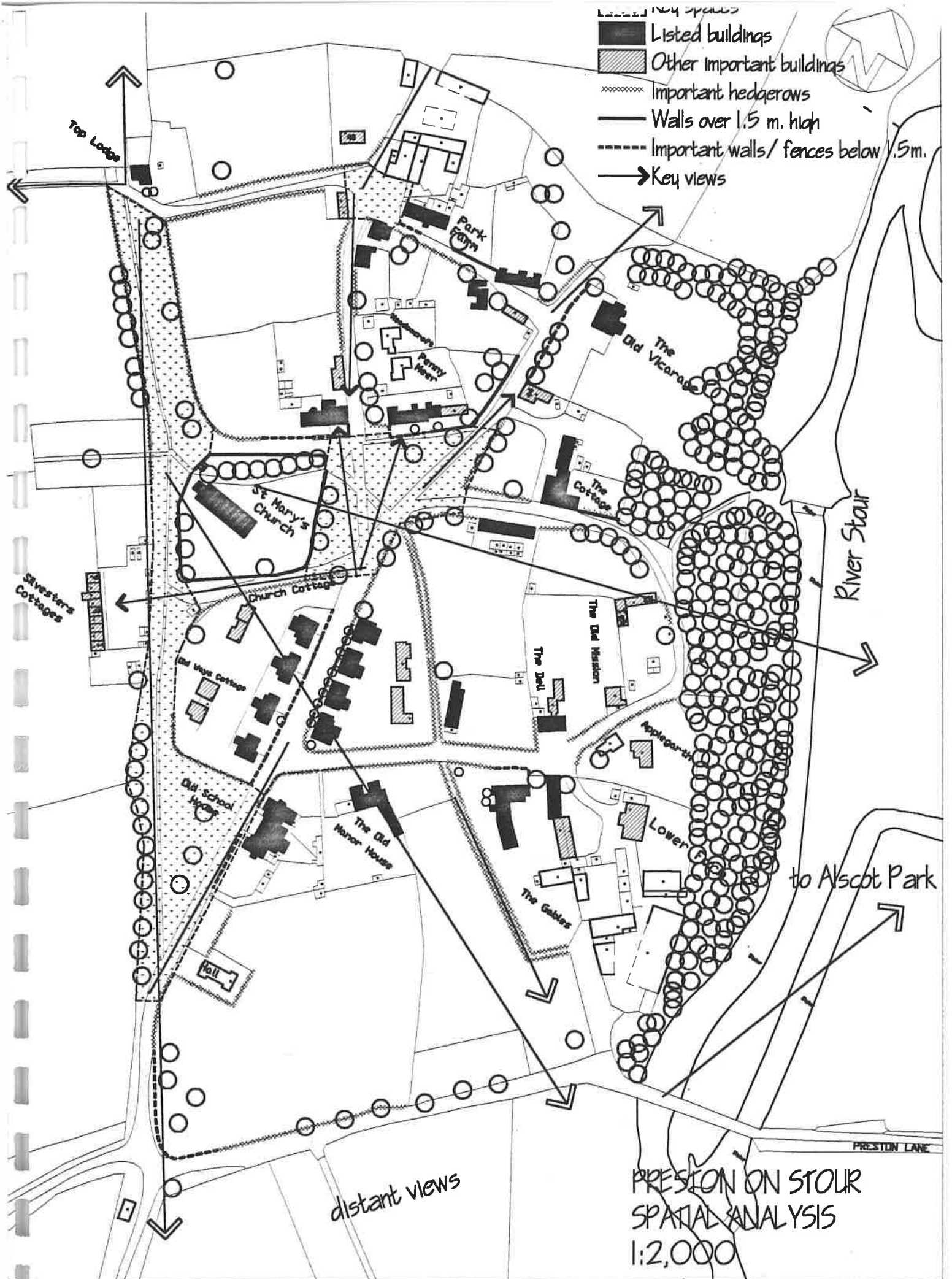
Below the church is Silvesters Cottages, a row of simple two-storey houses set well back on the western side of the greenway. Although they are old, they appear out of place and are not attractive. This impression is primarily due the lack of mature planting which is so characteristic of development elsewhere in Preston. They have a deep area of open former kitchen gardens in front, and there are some tatty outbuildings on the front boundary with the greenway. However, improvements have recently been undertaken, with attention to garden planting and provision of a timber picket fence to the front boundary, measures which will in time better blend the area into its surroundings. A gravel lane leads up from the green to provide access and hard-standing for cars in front of the plots. These elements briefly interrupt the continuity of the greenway.

On the east side of the greenway just below this point are two single storey cottages, behind the estate cottages in the main street. They were probably outbuildings with a similar relationship to the main cottages as those behind the east side of the main street. The boundary hedges give some enclosure to the greenway at this point, but it is not as strong as the higher areas.

The greenway must remain an inviolable part of Preston on Stour. There are a number of improvements which could be made, particularly around Silvester's Cottages to bring its whole length up to the quality of the best parts. These include strengthening boundary planting to screen the more unattractive foreground buildings and gardens and frame views along the length of the greenway, and tidying up car parking areas. As a more general issue, the outlook from the greenway emphasises the importance of the roofscape and good quality roofing materials in Preston.



View from top of the green way past the church



5. Landscape

Landscape within the village is a fundamental aspect of the character of Preston on Stour. The contrast of the mature gardens and trees of the village with the openness of farmland on high ground above it and parkland in the Stour valley below has been mentioned already. The most distinctive elements are the clipped yews which line the main street and abundance of orchard remnants throughout.

The following notes summarise village landscape in the same character areas discussed in section 4. Figure 5.1 identifies the main trees, tree groups and hedges: species and abbreviations are listed in appendix D.

5.1 The southern approach

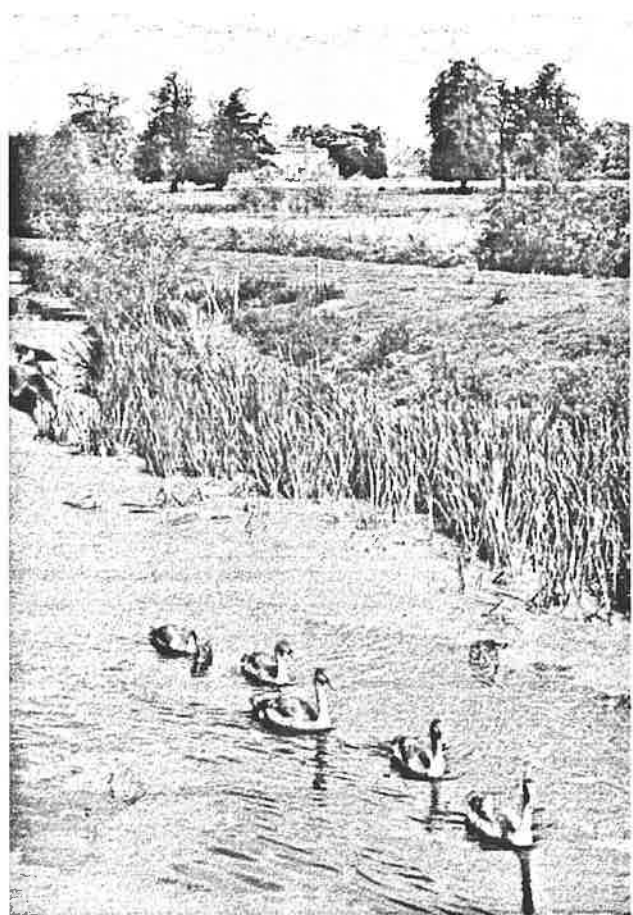
Views into Alscot Park are best seen on leaving the village along Preston Lane - the approach itself is dominated by the high brick estate wall. From observation, the park is well managed, with new planting of oak and sweet chestnut, appropriate to its typical English park landscape. The eastern village boundary is effectively formed by dense trees along the west bank of the Stour which include oak and ash. Willows are important visually along the river as it flows south-eastwards away from the village.

Crossing the river into the Conservation Area, the tree belt is emphasised by poplars behind Lower Farm. Both sides of the road have old orchard planting, but the south side has died back to mere remnants in pasture. The north side has been planted with young oaks - they appear to be doing well. Turning the corner towards the village, the landscape character is more highly and less naturalistically managed: field hedgerows, mostly hawthorn, are clipped, and orchard trees are supplanted by small ornamental species such as laburnum and flowering cherry.

5.2 The main street

The openness of the green on the west side of the road takes the eye away from an untidy area around the village hall. Leylandii hedges have been planted to screen the wooden building and its tarmac car-park, but they have now grown to some 5 metres in height, and have become a dark and intrusive element in their own right.

In the main street itself, the landscape is created by the front gardens of the estate cottages. Clipped yew trees provide strong definition, though a rather heavy appearance for a residential street; some



Alscot Park and the Stour from Preston lane

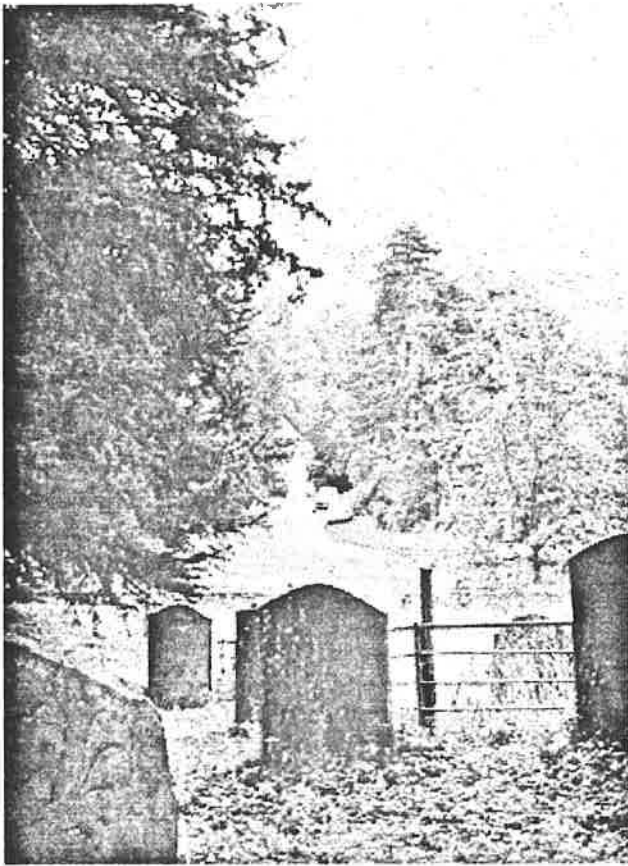
look a little unhealthy. With exceptions, the gardens themselves are disappointing: they contain relatively little colour, but are adequately maintained.

5.3 The green

The green is the landscape centrepiece of Preston on Stour. The neatly mown grass of the green itself contrasts with the backdrop of mature trees in gardens and the churchyard around it. A 6 meter copper beech in the middle of the green creates a good colour contrast. The corners of the green are marked by tall specimens of lime, larch and Scots pines, and by yews that line the north side of the churchyard.

5.4 The upper village

The upper village is perhaps the least remarkable area for landscape, although this is not to diminish its importance in the Conservation Area. Some good work is being done to replant an orchard of apple and pear trees north of the church, and to maintain hedges on the lane out of the village.



View out to the green from the churchyard

5.5 The lower village

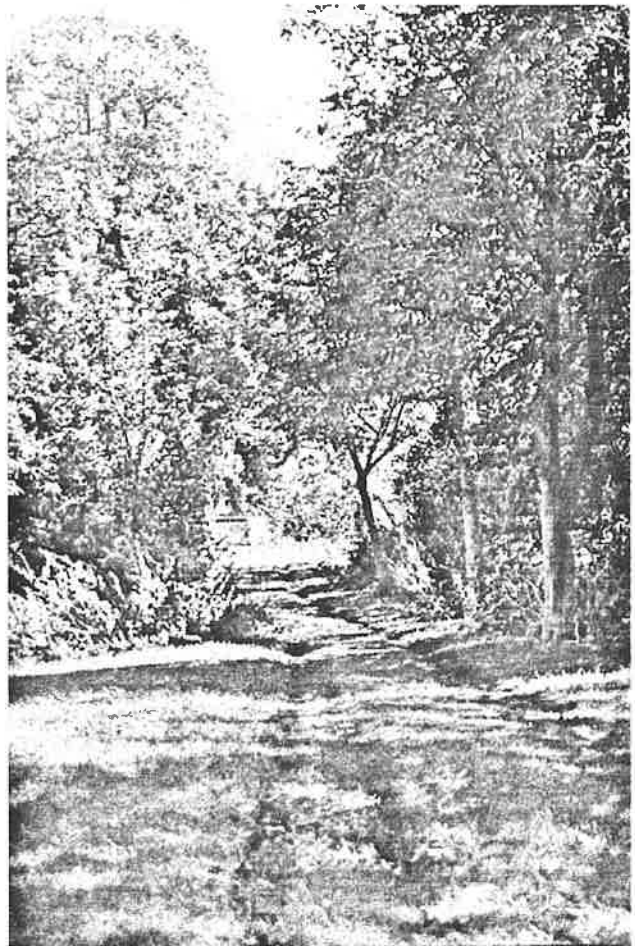
Landscape is dominant over buildings in the lower village. The main feature is the tall, dense mixed deciduous woodland that runs beside the Stour (see 5.1), and provides a backdrop to all views to the east of the village. In the north part, below Park Farm and around the Old Vicarage, garden planting is lush and well maintained, and the relationship of buildings and planting is close and very effective (see 4.5). Below The Cottage the area is much wilder. A former orchard behind Sylvester's Cottages has become derelict and overgrown, and the understorey of the woodland is fair.



View between Old Forge Cottage and nos. 36-38

5.6 The greenway

As pointed out above, the greenway is Preston on Stour's unique feature. This element of landscape forms the western boundary of the village, and preserves a north-south corridor of space with long-distance vistas to the south. Its dramatic form disguises some shortcomings in its physical state, however. At the north end its condition is generally good, although hedges on the west side are scrappy. South of the church grass surfaces have become eroded by vehicular access to Silvesters Cottages and hedges to Church Cottage and Old Ways Cottage need attention. The quality of gardens in front of the cottages has also been referred to before, although new planting will in time mature to provide a similar environment to other areas of the village. At the southern end, on the green opposite the village hall, the same problems of hedge condition occur: overgrowth is so great that it is no longer a proper hedgerow, and yet it is very scrappy.



Upper level of the green way





6. The future of the Conservation Area

6.1 Alterations

The Conservation Area Boundary drawn in 1970 is still applicable today. It follows boundaries that are formed by identifiable features, with two exceptions. The first is where the cemetery opposite St. Mary's Church has been extended, and it is proposed that the boundary is extended to include this change. The second is to include the modest brick building at the cross roads south of the village, in recognition of its prominence rather than in consideration of any architectural merit. This may protect it against inappropriate alteration or neglect. Figure 6.1 shows these amendments.

Careful consideration has been given to Alscot Park, which is a Registered Garden immediately adjoining the village on its east side. The village has very strong connections with the estate, and indeed owes its more recent character to it. On the other hand it is clearly separated from it by the River Stour and there are no direct visual connections between the village and the park. The park is very extensive, and a decision to include any part of it then leads to a further decision as to where to stop. On balance, it is felt that the river is such a strong boundary that it is the most appropriate line, even though a small area of the registered garden overlaps the Conservation Area on the west bank of the river. No change is therefore proposed.

6.2 Improvements

The immediate impression of Preston on Stour is orderly and well maintained: indeed it received a "Best Kept Village" award in 1997. However, even in the best villages there are always some general improvements that could be made: for example in Preston paved surfaces are not everywhere of sympathetic design. Figure 6.2 shows a number of more detailed points, listed below:

1. Use a more muted paint colour for the metal bridge railings.
2. Improvements required around the village hall. Little can be done about the creosoted timber construction, but the screening conifer hedge has got out of hand. Replant with native species. The tarmac car-park is also over-prominent: plant a native hedge along the roadside, which will mature into a good screen sympathetic with the character of village boundaries.

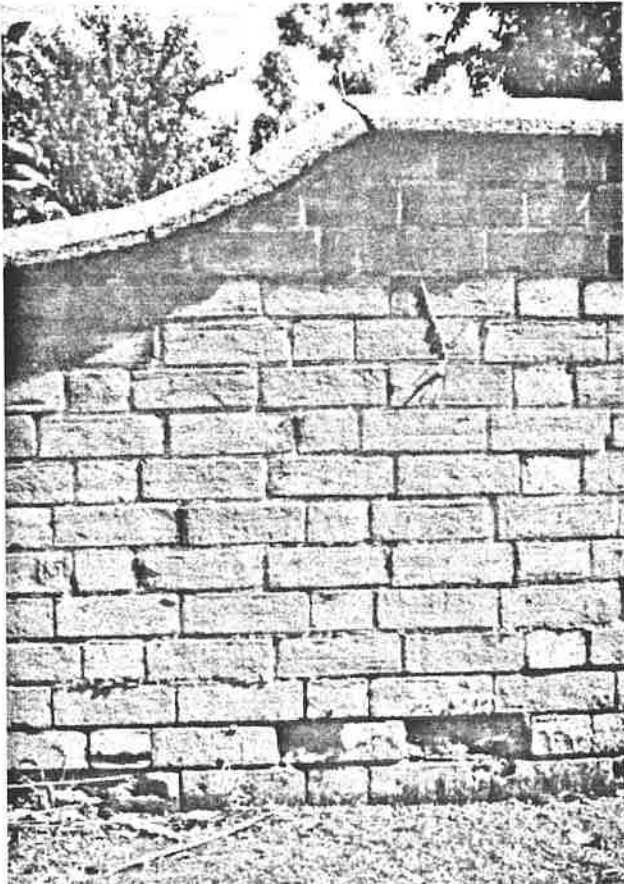
3. A Leylandii hedge has grown out of control, obscuring views of the end of the old school building. Replant with native species.
4. Surface treatments in the main street are poor and unimaginative. Re-lay footpaths with flagstones and stone/brick kerbs; top dress the carriageway with a natural stone aggregate to overcome the predominance of black asphalt.
5. Encourage renovation of brick barn in key location.
6. Tidy up farmyard, remove old tanks etc.
7. Encourage renovation of brick barn.
8. Larch-lap fence is intrusive: allow hedge behind to mature as screen and remove fence.
9. Old orchard now derelict. Exercise care over re-use.
10. Hedgerows to western side of greenway poorly managed and overgrown. Enhance and strengthen while having regard to their ecological value.
11. Front area outside Silvester's Cottages remains a little untidy. Recent improvement works could be further enhanced by reconstruction of front garages / outbuildings in sympathetic form, and planting native species hedgerow to front boundary. Provide properly designed paved area for vehicle turning, with visitor parking off line of sight along greenway.
12. Derelict outhouses suitable for re-use. Care required in making access, but possible in conjunction with improving existing footpath.
13. Brick barn is a good marker at the cross-roads. Ensure it is maintained sympathetically.

6.3 Control

Preston on Stour has not had to suffer great pressure for new development in recent years. This may be because of the influence of the Alscot Park estate and its extensive ownership in the village, which has helped maintain consistency. Since the conservation area was designated, only two new houses have been built, but they have been designed and planned to typical suburban estate parameters: greater sensitivity should be paid to siting and the village setting for new or renovation projects.

The different traditions of building that we see in the village today should not lead to the conclusion

that "anything goes". There is in fact a good deal of unity of scale and form and in building materials. Common to both the mediaeval and the nineteenth century styles are red bricks, brown clay tiles and warm earth colours that are all readily available in modern materials. This study has identified a number of buildings in the village which are in need of renovation. It is important that any project to bring them back into useful life should pay heed to precedents in the village of colour, materials, boundary walls and planting, and the form and the positioning of new buildings on the site and relative to the road.



Traditional Brickwork colours, and strong definition of space

6.4 Conclusion

Preston on Stour is a village of surprises. It is hidden away, so close to Stratford but hard to find. On arrival, one is immediately struck by the strong style of the main street, which then suddenly opens onto the different world of the village green. Tucked away off the green are leafy lanes and mediaeval cottages which tell a different history. The church seems to face the wrong way, until one understands something of the morphology of the village, and its relationship to that most surprising and unique of its features, the greenway.

This Conservation Area Review seeks to provide an analysis of the village's character expressed in its structure and public realm, not just in its individual private buildings. Design which respects these aspects of the village environment, and the materials and scale of the buildings and landscape which are already here, will with guidance make a positive contribution and enhancement to Preston on Stour.

Appendix A - Listed Buildings



Nos.3 AND 4

(Ref. 12/114 - Grade II)

Pair of estate cottages. Dated 1857. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stacks with octagonal shafts. L-plan. 2 storeys; 2-window range; gable breaks forward to right of centre. Wide eaves and verges. Segmental-headed entrance to right end has plank door with enriched strap hinges and gabled timber canopy with decorative framing. Segmental-headed windows to ground floor have brick sills, and label moulds over 2-light and 3-light casements with enriched cast-iron glazing; 1st floor has windows with 2-light casements, that to left in gabled half-dormer. Left return has canted bay window under hipped roof with datestone to gable above. Rear wing has entrance with gabled open timber porch and half-dormer above, and cross-axial stack; datestone reads: IRW/ 1857. Rear has re-entrant gabled wing and C20 flat-roofed outshot. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition.

(Darley G: Villages of Vision: London: 1975-: 298).

Nos.5 AND 6

(Ref. 12/115 - Grade II)

Pair of estate cottages. 1852-6. (Similar to illustration, right). For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stack with diagonal shafts to front and back. L-plan. 2 storeys; 2-window range; gable breaks forward to left of centre. Wide eaves and verges with chamfered brick cornice and gables. Segmental-headed entrance to each end has plank door with enriched strap hinges and label mould. Segmental-headed windows to ground floor have brick sills, and label moulds over 3-light casements with cast-iron lattice glazing; 1st floor has windows

with 2-light casements, that to right in gabled half-dormer. Returns have single lights to ground floor and 2-light casement windows to 1st floor. Rear has 2 gables. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition.

(Darley G: Villages of Vision: London: 1975-: 298).

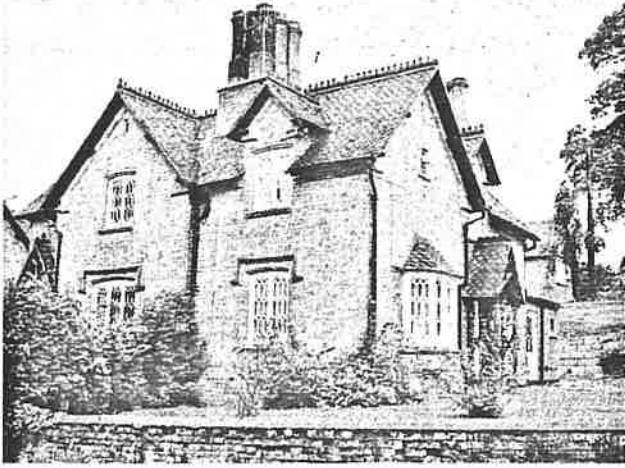


Nos.7 AND 8

(Ref. 12/116 - Grade II)

Pair of estate cottages. 1852-6. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stack with diagonal shaft to front and rear. L-plan. 2 storeys; 2-window range; gable breaks forward to right of centre. Wide eaves and verges with chamfered brick cornice and gables. Segmental-headed entrance to each end has plank door with enriched strap hinges and label mould. Segmental-headed windows to ground floor have brick sills, and label moulds over 3-light casements with cast-iron lattice glazing; 1st floor has windows with 2-light casements, that to left in gabled half-dormer. Left returns have single lights to ground floor and 2-light casement windows to 1st floor. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition.

(Darley G: Villages of Vision: London: 1975-: 298).



Nos.9 AND 10

(Ref. 12/117 - Grade II)

Pair of estate cottages. 1852-6. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stacks with hexagonal shafts. L-plan. 2 storeys; 2-window range; gable breaks forward to left of centre. Wide eaves and verges with chamfered brick cornice and gables. Segmental-headed entrance to (left end has plank door with enriched strap hinges and gabled timber canopy with decorative framing. Segmental-headed windows to ground floor have brick sills, and (label moulds over 3-Light and 2-light casements with enriched cast-iron glazing; 1st floor has windows with 2-light casements, that to right in gabled half-dormer. Right return has canted bay window under hipped roof with datestone to gable above. Rear wing has entrance with gabled open timber porch and half-dormer above, and cross-axial stack with diagonal shafts. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition. (Darley G: Villages of Vision: London: 1975-: 298).

Nos.11 AND 12

(Ref. 12/118 - Grade II)

Pair of estate cottages. 1852-6. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stacks with hexagonal shafts. L-plan. 2 storeys; 2-window range; gable breaks forward to right of centre. Wide eaves and verges with chamfered brick cornice and gables. Segmental-headed entrance to right end has plank door with enriched strap hinges and gabled timber canopy with decorative framing. Segmental-headed windows to ground floor have brick sills, and Label moulds over 2-Light and 3-Light casements with enriched cast-iron glazing; 1st floor has windows with 2-Light casements, that to left in gabled half-dormer. Left return has canted bay

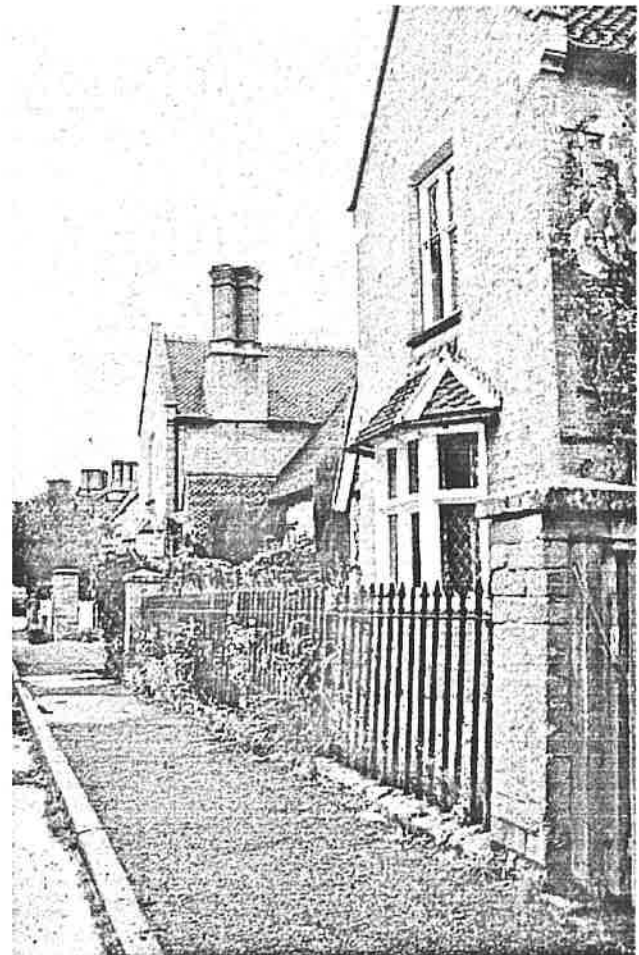
window under hipped roof with datestone to gable above. Rear wing has entrance with gabled open timber porch and half-dormer above, and cross-axial stack with diagonal shafts. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition. (Darley G: Villages of Vision: London: 1975-: 298).

Nos.13 AND 14

(Ref. 12/119 - Grade II)

Pair of estate cottages. 1852-6. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stacks with clustered diagonal shafts. T-plan. 2 storeys; symmetrical 2-window range. Wide eaves and verges with chamfered brick cornices and gables. Entrance to each end has 4-centred head and Label mould over plank door with enriched strap hinges. Segmental-headed windows to ground floor have brick sills, and Label moulds over 3-light casements with cast-iron Lattice glazing; 1st floor has windows with 2-Light casements, under gablets. Returns have single lights to ground floor and 2-Light casement to 1st floor. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition. (Darley G: Villages of Vision: London: 1975-: 298).

(Below: nos. 118-121)



Nos.15 AND 16

(Ref. 12/120 - Grade II)

Pair of estate cottages. 1852-6. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stacks with clustered diagonal shafts. T-plan. 2 storeys; symmetrical 2-window range. Wide eaves and verges with chamfered brick cornices and gables. Entrance to each end has 4-centred head and label mould over plank door with enriched strap hinges. Segmental-headed windows to ground floor have brick sills, and label moulds over 3-light casements with cast-iron lattice glazing; 1st floor has windows with 2-light casements, under gables. Returns have single lights to ground floor and 2-light casement to 1st floor. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition.

(Dartey G: Villages of Vision: London: 1975-: 298).

Nos.17 AND 18

(Ref. 212/121 - Grade II)

Pair of estate cottages. 1852-6. For James Roberts West. Brick; fishscale tile roof with enriched cresting and brick cross-axial stacks with hexagonal shafts. L-plan. 2 storeys; 2-window range; gable breaks forward to left of centre. Wide eaves and verges with chamfered brick cornices and gables. Segmental-headed entrance to left end has plank door with enriched strap hinges and gabled timber canopy with decorative framing. Segmental-headed windows to ground floor have brick sills, and label moulds over 3-light and 2-tight casements with enriched cast-iron glazing; 1st floor has windows with 2-light casements, that to right in gabled half-dormer. Right return has canted bay window under hipped roof with datestone to gable above. Rear wing has entrance with gabled open timber porch and half-dormer above, and cross-axial stack with diagonal shafts. Built as part of a model estate village and with 3 other pairs forming a symmetrical composition. (Dartey G: Villages of Vision: London: 1975-: 298).

Nos.28 AND 29

(Ref. 12/122 - Grade II)

Pair of cottages. C17 or early C18 with c1860 alterations and additions. Brick with some rendering on partly stone plinth; renewed tile roof with 2 brick stacks to rear of ridge. Gable facing, front to right. Single storey with attic; 4-window range with C19 lean-to outshuts to ends. Entrance to right end has timber lintel over wide-boarded door; segmental-headed entrance to left-hand outshut has plank door. Ground floor has windows with 4:3:2:3-light casements, the 3-tight casement to end under door



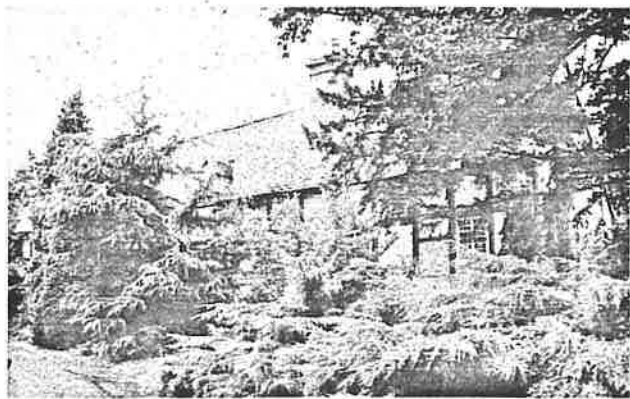
lintel; attic has gabled dormers with 2-tight casements, all with leaded glazing and iron opening casements. Rear has 5 small windows, 2 with leaded glazing. Left return has 2-light small L-paned casement and angle stack to outshut. INTERIOR not inspected but noted as having exposed beams and wide-board doors. Altered in C19 for Atscot Park estate.



Nos.30, 31 AND 32

(Ref. 12/123 - Grade II)

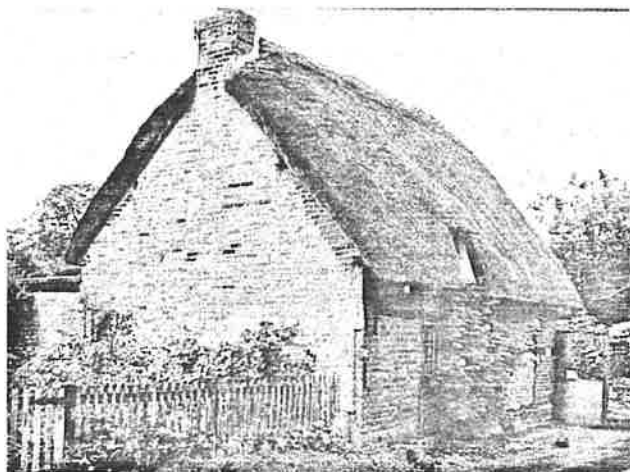
Three cottages. C18 with C20 alterations. Red brick laid to Flemish bond, most of the ground floor with glazed headers; machine tile roof with brick ridge stacks. Each house of single-unit plan. Single storey with attic; 6-window range. 2 entrances have C20 doors. 3 single-storey canted bay windows and a 2-light casement; 6 gabled dormers have 2-light casements with leaded glass and crown glass. C19 brick extension on right. INTERIORS not inspected.



Nos.36 AND 37

(Ref. 11/124 - Grade II)

2 houses. C17 with later alterations. Timber frame with brick infill on brick plinth; steeply pitched old tile roof with brick end and internal stacks. 3-unit plan plus single-unit part to left. Single storey plus attic; 5-window dormer range. 2 entrances have plank doors in wood frames. 5 windows to ground floor have 2-light casements with smatt-paned or leaded glazing; a small window on far Left; 5 gabled dormers mostly with leaded glazing. Bracing to attic. INTERIORS not inspected.



No.42, The Old Thatch

(Ref. 11/125 - Grade II)

Cottage. C17. Timber frame with brick infill on brick plinth; thatched roof with brick end stack. 2-unit plan. Single storey plus attic; 2-window range. Pair of windows to left of centre have 2-tight smatt-paned C20 casements; similar casement to raking dormer above. Entrance to right return has C20 porch; window above in hatf-hipped gable; left return is brick, one small window. C20 rear addition. INTERIOR not inspected.



No.43

(Ref. 11/126 - Grade II)

Cottage. C16 with later alterations and extensions. Timber frame with plastered infill and brick; old tile roof with brick internal stack. Right-angle plan. Front leans back with close studding and 1st floor jettied on large brackets; wide eaves to gabled roof. later C17 part of timber frame with brick infill over brick ground floor. Entrance to left has plank door in wood frame. Single, 2- and 3-light casements with grazing bars, some renewed. INTERIOR not inspected.



No.45, Old Forge Cottage

(Ref. 11/127 - Grade II)

House. C17 or early C18 with C19 alterations and C20 restoration and additions. Timber frame with roughcast cladding on stone plinth, with timber-frame and brick wing; renewed tile roof with large brick rear lateral stack. 2-unit plan with former outbuilding to right end. Singte-storey with attic;

PRESTON ON STOUR

symmetrical 2-window range. Entrance has C20 plank door. Windows have 2-light small-paned casements with moulded frames and iron opening casements, one to right incorporating letter box; attic has 2 C19 gabled brick dormers with 2-tight small-paned segmental-headed casements. Early C19 outbuilding to right, connected to house by C20 wing to rear, has renewed front-facing gable and C20 casement; return has C18 brick plinth with some vitrified headers and 2-tight pegged casement with leaded glazing and iron opening casement. C20 windows to left return. Rear has 2 large C20 gabled wings and porch to left end. INTERIOR not inspected.

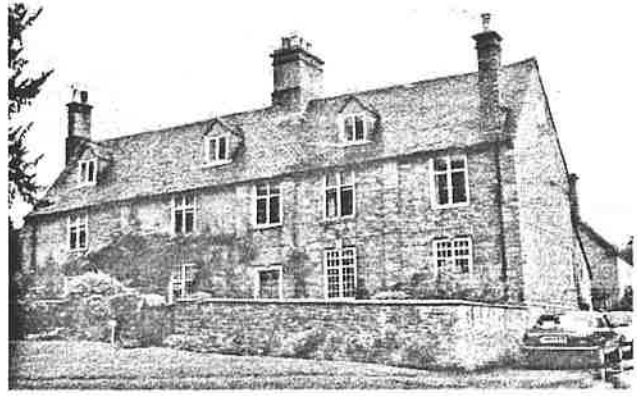


Nos.46-49 (consecutive)

(Ref. 11/128 - Grade II*)

House. late C16 with C18 extension on right. Timber frame with plastered infill; brick extensions to right end; renewed tile roof with brick and stone stacks with diagonal shafts to front and rear of ridge. 2-unit plan with cross wing to right. 2 storeys plus attic; 3-window range. Entrance to wing has plank door in wood frame. Windows have 3-light leaded casements; 1st floor has 2 windows with 2-tight casements and one with 3-light casements, all leaded; 2 large gabled dormers and gable top right, each with small 3-light leaded casement with crown glass. Close studding to ground floor, square framing to 1st floor and decorative panelling, including 8-pointed stars, to gables. Brick extension to right of single storey plus attic and a further single storey element to right of this, these with machine tile roofs and casements. Rear lean-to outshut. INTERIOR not inspected, but noted as having exposed beams and at least one large fireplace.

(Buildings of England: Pevsner N: Warwickshire: Harmondsworth: 1966-: 375-6).



NOS. 50 AND 51, Old Bakery (51)

(Ref. 12/129 - Grade II)

2 houses. Early C18. Brick Laid to Flemish bond on rubble plinth, with some timber frame; steeply pitched old tile roof with brick end stacks and cross-axis stack. 4-unit baffle entry plan. 2 storeys with attic; 2- plus 3-window range. 4 pilaster strips articulating irregular bays and top brick cornice. Entrance to right of centre has 6-panel door, 2 panels glazed. Windows have rubbed brick flat arches with key blocks over small-paned cross-casements; 1st floor has 4 similar windows with Leaded glazing and a blocked window over entrance; 3 gabled dormers have 2-Light Leaded casements. Rear outshut with square framing to right half. INTERIOR not inspected.

(Buildings of England: Pevsner N: Warwickshire: Harmondsworth: 1966-: 375).

Church of St Mary

(Ref. 12/130 - Grade I)

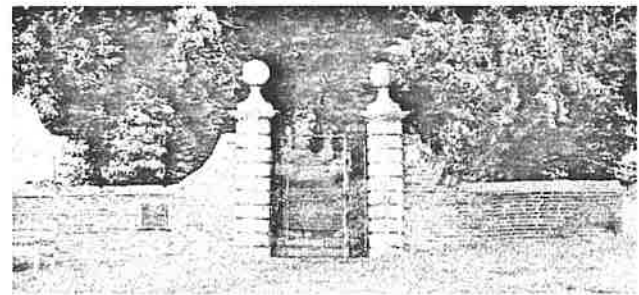
Church. South wall of nave is medieval of different builds; late C15 tower; chancel rebuilt from 1753, west entrance and window 1756, north wall of nave and nave south windows and parapet 1757, by Edward and Thomas Woodward of Chipping Campden for James West of Atscot Park. Limestone ashlar and coursed limestone rubble; slate roofs. Chancel, nave and west tower. Chancel has plain plinth and cornice with coped parapet with small crocketed pinnacles. 3-Light east window with hood mould over C14-style tracery; 3-light north and south windows have C15-style tracery, that to north over pointed entrance with studded door; some C18 wall tablets. 2-bay nave has ashlar north wall, coursed rubble south wall, coped parapet with pinnacles as chance; 3-light windows with C14-style tracery; jamb to former window and small high blocked window visible to south side; wall tablet to north side. 3-stage tower has plinth, string courses, and top cornice, crenellated parapet with continuous roto moulding and pinnacles; diagonal buttresses. Giant arch to west has pointed entrance with coved jambs



and paired studded doors with 3-light window above; 2-light Y-tracery bell openings with hoods; segmental-pointed south entrance up steps. INTERIOR: chancel wattle have dado paneling with pointed trefoil panets below plaster panels, rectangular to east and of 3 ogee arches to west; rich cornice with egg-and-dart and fluting; moulded architraves to windows, that to east with egg-and-dart mouldings; plaster segmental vault with moulded ribs and bosses. Segmental chancel arch has painted panets and C19/C20 memorial tablets. Nave has C15 roof with moulded members and rosettes; tall tower arch mostly hidden by gallery. Fittings: chancel has stalls by Phillips and Shakespeare, 1754, with paneling as dado, that to west with enriched iron cresting and similar gates and piers by Phittips, 1755; altar table with enriched brackets; 1910 altar rail has shield panels. Nave has plain pews with iron lamp standards; pulpit probably C20 with tinenfold paneling; 1895 free-standing organ to south side; C18 baluster font with shallow bowl and gadrooning; gattery, by Salmon of Stratford, on 2 fielded-panelled posts with small late C20 rooms beneath ends, entablature and fielded-panelled gallery front with C17 relief carving of Royal arms; Creed, Commandment and Lord's Prayer boards to south

watt have enriched architraves; late C20 crucifix to north watt. Gattery has 4 hatchments to members of the West family, 1799-1882. Memorials: chancel has memorials to the Marriett and West families to north and south walls including Thomas Steavens, d. 1759, coloured marble and profile medallion; James West, d. 1797, by Sir Richard Westmacott, Grecian with standing mourner; James West, a. 1838, by R Westmacott Jnr, Grecian style with figures of Faith and Hope. Sir Nicholas Kemp, d. 1624 and his 2 wives, said to have been brought from St Mary's Chapel, Islington, by the patron: bracketed shelf with kneeling figures, of front-facing man in armour with flanking women in profile, 4 Corinthian columns of touch; entablature with armorial bearing and cherubs holding skulls. Stained glass: brought to church by the patron; west window has early C16 pieces, mostly armorial bearings; chancel east window has many C17 Flemish or German panels of Biblical scenes etc in setting dated 1754, with central c1910 panel of Christ in Majesty; chancel north and south windows have c1760 figures and heads in decorative setting. Wall painting: 2 c1910 panels of the Annunciation flank east window. A church important for its early Gothic Revival style and fittings; remarkable as one of the earliest churches of the Gothic Revival, (Cotvin).

(Buildings of England: Pevsner N: Warwickshire: Harmondsworth: 1966-: 375-6; Victoria County Histories: Victoria History of the County of Gloucestershire: 1968-: 87-9; Bloom JH: A History of Preston-upon-Stour in the County of Gloucestershire: 1896-: 80-93).



Gates, gatepiers, and churchyard wall enclosing Church of St Mary

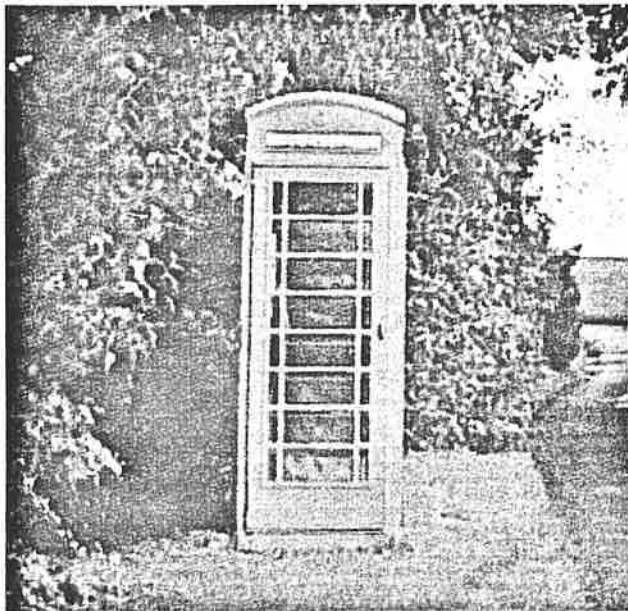
(Ref. 12/132 - Grade II)

(Formerly listed separately as: Gateway to Churchyard of St Mary on North, Gateway to Churchyard of St Mary on West PRN 652-1/25/1A and 1B.)

Gates and gatepiers to west and north-west of church, with attached wall enclosing the churchyard. c1750 with some early C19 rebuilding. Gates probably by Nicholas Parris. Ashlar and brick Laid to Sussex bond, the C19 brick Laid to Flemish bond;

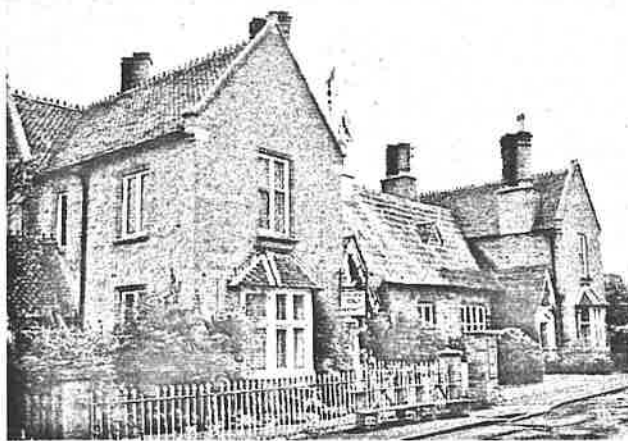
wrought-iron gates etc. Each gate has rusticated piers with moulded plinths, cornice and ball finials, gates of enriched wrought-iron with similar side panels and overthrow. Wall to north-east is C18 with roll moulding to chamfered ashlar coping, some C19 repair. Wall to south-east has extensive C19 repairs beneath original coping, and several small buttresses; C19 west end. Wall to west and north-west is completely C19, with plainer chamfered coping.

(Bloom JH: A History of Preston-upon-Stour in the county of Gloucestershire: 1896-: 98; Victoria County Histories: Victoria History of the County of Gloucestershire: 1968-: 89).



Village Green, K6 Telephone kiosk
(Ref. 12/136 - Grade II)

Telephone kiosk. Type K6. Designed 1935 by Sir Giles Gilbert Scott. Made by various contractors. Cast-iron. Square kiosk with sail vault; relief crowns to top panels and smatt-paned margin-tight glazing to door and sides.



Nos.19 AND 20, Old School House (Post Office and Sean Feeny, Furniture Maker)
(Ref. 12/137 - Grade II)

Former school, now shop, workshop and 2 houses. 1848. For James Roberts West of Atscot Park. Brick with ashlar dressings; fishscale tile roof with enriched cresting and brick lateral stacks with diagonal shafts. H-plan. Single-storey centre with 2-storey end wings. Wide eaves and stone-coped gabtes with kneeters. centre has entrance to each end in gabled porch with door set in Tudor-arched opening, inner entrances have 4-centred arches and 4-panel doors; 3 windows have offset silts and chamfered reveals and ashlar tintels, 4:2:4-light transomed casements with teaded glazing; 2 triangular louvred openings and beltcote to ridge with enriched gable to each side and wind vane. Central panel with inscription and date. Each gabled wing has inner lateral stacks; windows have ashlar silts and tintets, and leaded glazing: 1:2:1-tight transomed canted bay under hipped roof and window with cross-casement above. Each outer return is a 3-window range with gabled wing to rear end and gabled porch; windows with cross-casements, and single and 2-tight casements; left return has clock-face to gable. Rear has varied gabled wings and stacks. Part of a model estate vottage.

(Dartey G: Villages of Vision: London: 1975-: 298).

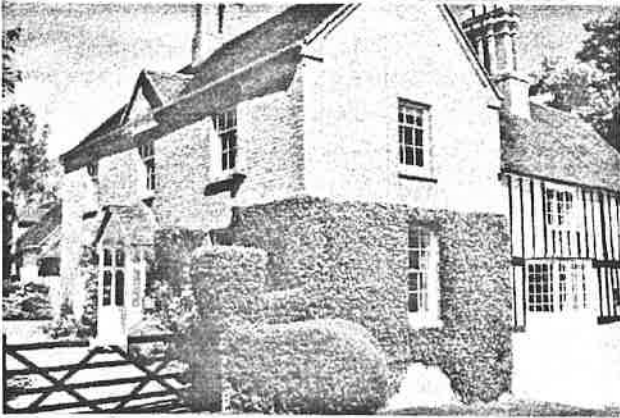


Park Farmhouse
(Ref. 11/138 - Grade II)

Farmhouse. C17 or early C18 with C19 alterations. Timber frame with brick infil(on brick plinth, with small brick addition; steeply pitched old and renewed tite roof with large brick stack and smaller stack, both to rear of ridge. 3-unit plan plus C19 brick extension to right end. 2 storeys; 3-window range. Entrance to right of centre has gabled brick porch with pilasters and moulded cornice to elliptical arch with vermiculated key block and oculus over; inner Tudor-headed entrance with 2-panet door in wood frame. Ground floor has large

PRESTON ON STOUR

windows with 3-tight C19 casements flanking entrance and 2-light casement to (left end; similar 1st floor windows. Brick wing has modittioned brick cornice; return has blocked segmentat-headed opening and hipped bay window with segmental-headed window with 3-light casement above. 4-panet-high framing with some C19 reconstruction to right end. Left return has 3-light casement to each floor and 2-tight attic window in altered openings. Rear has gabled wing and tean-to verandah; 2-light and 3-tight casements, some smatt-paned. INTERIOR not inspected.



The Cottage

(Ref. 11/139 - Grade II)

House. C17 with c1860 front range. Timber frame on coursed limestone rubble, and brick; tile roofs with brick stacks. Gabte facing, front to right; L-plan. C19 front range of 2 storeys; symmetrical 3-window range. Chamfered brick ptinlh, and top cornice with central gabtet. Round-headed entrance has doorcase with fluted pilaster strips and consoles, but later gabled timber porch; fanlight over 4-flush-panet door. Windows have sills, and rubbed brick flat arches over 12-pane horned sashes to ground floor, similar 9-pane sashes to 1st floor. Cross-axial stack and rear taterat stack. Similar windows to returns, the left return with range of singte-storey service buildings. Right return to street has rear range with ctose-studded framing on high rubble plinth; 2 canted bay windows have high brick ptinths, and 1:3:1-Light smalt-paned casements, 2 smatt Leaded tights between; 1st floor has windows with 3-tight sma(t)-paned casements; all with iron opening casements. Large cross-axial stack has fillets and C19 cornice with 4 pots. INTERIOR: noted as having central staircase to front range, back-to-back fireplaces to rear wing. (plans; Shakespeare Birthplace Trust Record Office).



The Dell

(Ref. 12/140 - Grade II)

House. C16 and C17 with C20 restorations. Timber frame with plastered infitt on rubble plinth; renewed tile roof; brick return lateral stack and stack to front of ridge. 2-unit plus cross-wing plan. Single storey plus attic; 3-window range. Entrance to (eft of centre has wide-boarded studded door in moulded surround. Windows have renewed teaded casements, most of 3 lights, but one of 2 lights to right end; attic has gabled dormers. Ctose-studded framing to ground floor left end, the rest square framed. Right return has timber-framing with painted brick infitt; canted oriel with pair of 2-light casements above. Rear has singte-storey gabled wing. INTERIOR not inspected.

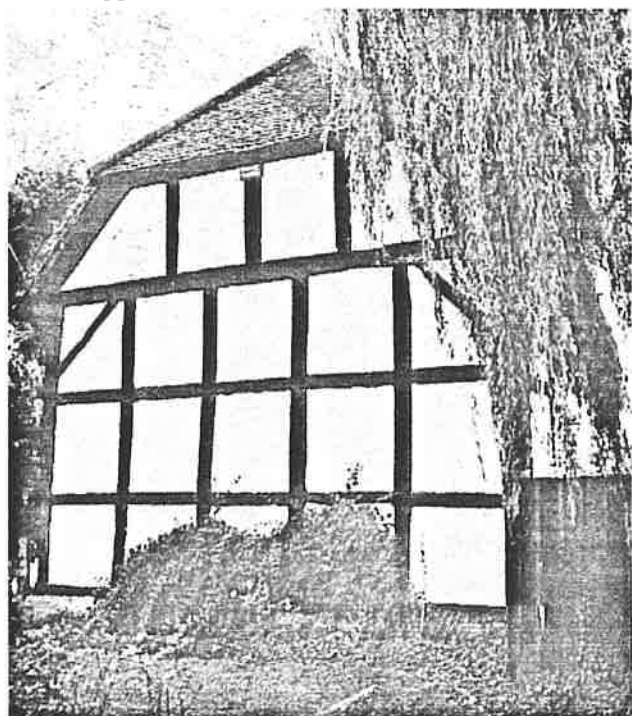


The Gables

(Ref. 12/141 - Grade II*)

House. C16 with C19 additions and C20 restoration. Timber frame with plastered infitt on limestone plinth; brick and timber-frame rear wing; steeply pitched old tite roof with brick ridge and lateral stacks. 3-unit plan plus rear wing. 2 storeys plus attic; 4-window range. Entrance to left of centre has plank door with strap hinges in C20 projecting timber surround. Window to left has 3-light casement; 3 windows to right, one smaller and 2 paired, all with 3-light casements; right end has 4-

light casement; all are leaded. 1st floor has 4-light projecting ovolo-mullioned-and-transomed window to each end, and similar 4-light window to left of centre, and 2-light window to right of centre. Attic has gable to each end, jettied on moulded brackets, and with 3-light mullioned windows. Windows have leaded lights, some with crown glass. Close-studded framing to ground floor, square framing above. Rear has single-light and 2-light ovolo-mullioned windows over French window to left of long rear wing with some timber framing, the end section being C19 with 2 lateral stacks; mostly renewed casements and one small 3-light mullioned window; end canopied entrance and bay window. To right of wing a single-storey flat-roofed addition with 2 projecting dormers under hipped roofs. INTERIOR not inspected.



Former barn immediately east of The Gables
(Ref. 12/142 - Grade II)

Barn, now converted to domestic use. C17 or early C18 with C19 roof and C20 alterations. Timber frame with painted brick and plastered infill on limestone plinth; renewed half-hipped tile roof. Single storey; 4-bay structure. 2 entrances: to left a C20 plank door, and plank doors to original threshing floor entrance. 7 2-light leaded casements. Rear has stone and brick plinth; end lateral stack. INTERIOR has ceiling to one half, other half has trusses with tie beams and principals truncated by collars; rafters have pairs of diagonal braces. Included for group value. STOUR



Nos.21 TO 23 (Consecutive), The Old Manor House

(Ref. 12/143 - Grade II)

Block of 3 timber-framed properties, now one. Earlier C17, left part dated 1659 (probably inscribed later). Timber frame with painted brick infill; close-studded to ground floor, square-framed to 1st floor; tile roof with cross-axial stacks with ashlar diagonal shafts with cornices, and brick end stack. 2-storey range with attic and 2 gabled wings, and higher addition to right. Entrance has frame with date to plank door with strap-hinges. All windows have Leaded glazing, those to ground and 1st floors have renewed 3-light casements with leaded glazing; gabled dormer has decorative framing and 5-light ovolo-mullioned window; small 2-light window to 1st floor next to gabled dormer with 4-light ovolo-mullioned window. Wings are square-framed with renewed casements. To right a single-window range. Plastered section to left under stack. long timber-frame and brick rear wing. INTERIOR not inspected.



The Old Vicarage

(Ref. 12/144 - Grade II)

Vicarage, now house. C17 and C18. Roughcast, probably to timber frame, on stone plinth; timber-framed rear wing with brick infill and brick outshot; steeply pitched old tile roof with brick cross-axial stack. L-plan; gable facing, front to right. 2 storeys; 3-window range. Plaster band over ground floor, pilaster strip to right end and top

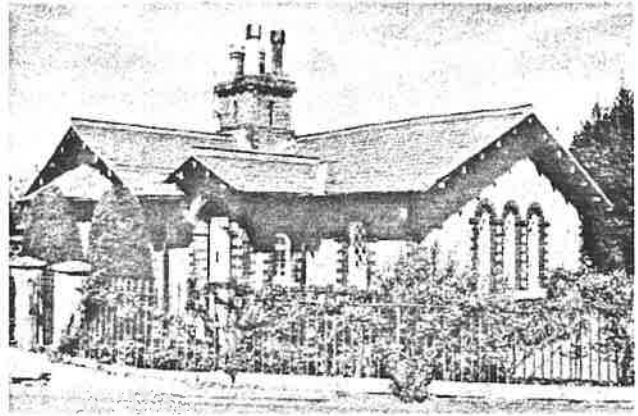
PRESTON ON STOUR

modillioned timber cornice. Entrance to right of centre has small-paned overlight to 4-flush-panel door. 2 windows to left of entrance have wide frames to 414 sashes with thick grazing bars; window to right of entrance has small-paned cross-casement with horizontally sliding casement. 1st floor has 2 windows with 414 horned sashes and one with small-paned cross-casement. Left return has 2 cross-casements to 1st floor and gabled dormer to hipped end. Rear has short higher wing with asymmetrical timber-framed gable and end stack, and lower timber-framed wing with later brick cat-side outshut; windows mostly have 2-tight or 3-tight casements with iron opening casements. End with 3-tight casements and lean-to outshut to left. Right return has blind gable end and small gabled wing to left of outshut, which has window projecting above eaves. INTERIOR not inspected.

Top Lodge to Alscot Park attached gate and railings

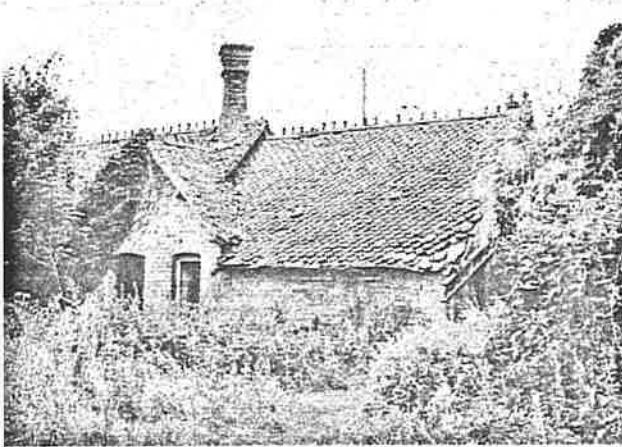
(Ref. 12/145 - Grade II)

Lodge, gate and railings. c1860. For Alscot estate. Brick with blue brick and ashlar dressings; shallow-pitched state roof with brick stack. L-plan, set at angle to road, with re-entrant porch. Single storey. Blue brick pilinth and quoins; top modillioned brick cornice carried round gable and wide eaves and



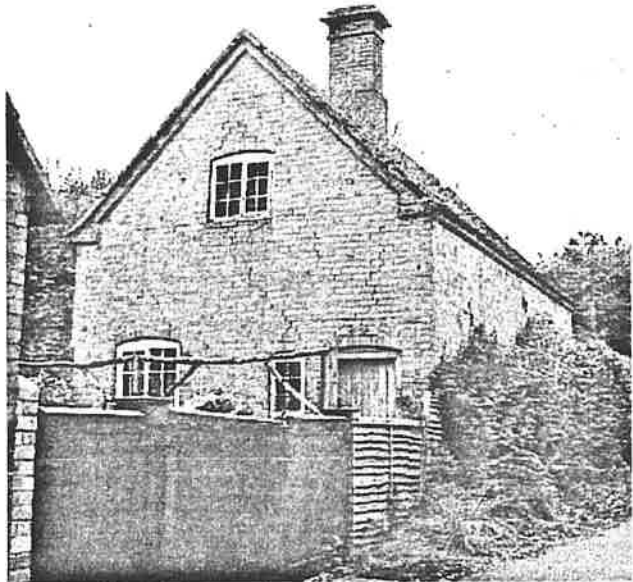
verges. Porch has round-arched opening with later plank door; small round-headed side light. Gabled wing to left has carted bay window under hipped roof and with 1:2:1 round-headed lights with blue dressings and latticed glazing; similar round-headed window to right of porch. Stack has cluster of 4 shafts connected by small arches, and cornice. Right return has 3 round-headed lights as before. Rear has 3 segmental-headed windows with latticed glazing. Gate to left has square buff-brick piers with blue brick dressings and ashlar pedimented caps; C20 gate; side screens with fishscale lattice pattern and smaller end piers. Cast-iron railings on low stone plinth have decorative heads, small gate and red brick piers.

Appendix B - Significant Unlisted Buildings within the Conservation Area



Outbuildings to rear of Main Street (nos. 13 - 18).

Built in similar style to houses and Old Ways Cottage and Church Cottage. Valuable element of Model Village original concept and development.



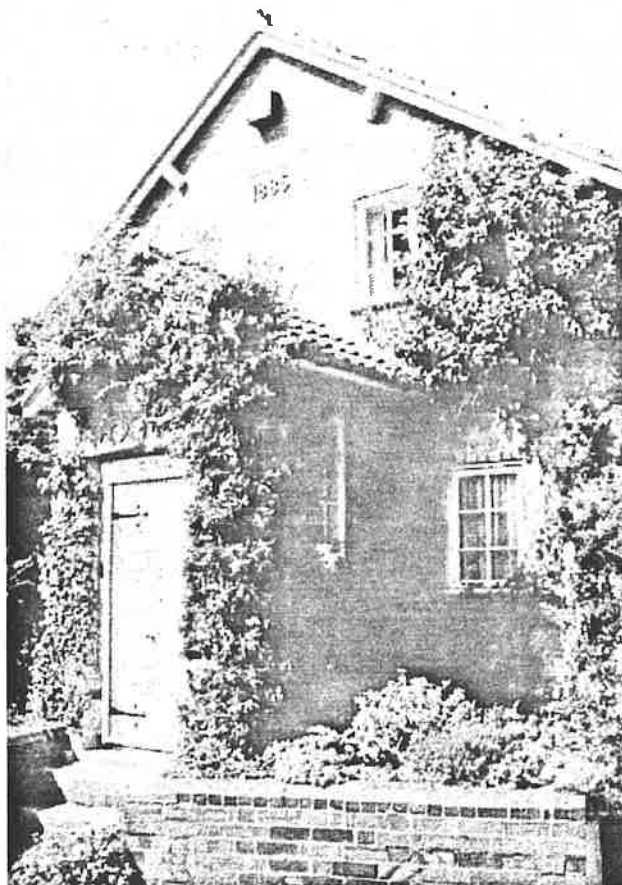
Barn to rear of 51

C19th red brick outbuilding, 1 storey with attic, plain tiled roof. Segmental brick arch windows, double 6-paned side hung timber casements. Poor condition. Provides important closure of lane. Nos.



23 - 25, Sylvesters Cottage

L-shaped range of C19th brick 1½ storey cottages, now 1 dwelling. Plain tiled roofs, simple building forms. Segmental arched windows in ground floor, modern side-hung timber casements. Small gabled half dormers to upper floor.



The Old Mission

Simple brick Wesleyan Chapel, date-stone 1885. Much modernised, but part of Preston's social heritage.



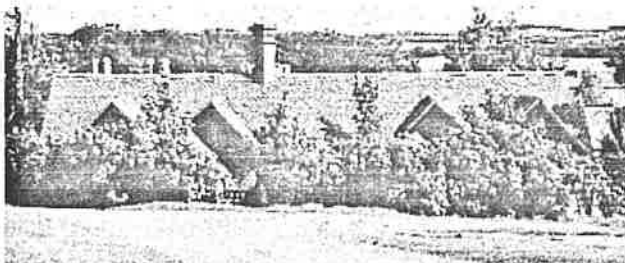
No. 44

Simple C19th/20th red brick cottage with plain tiled roof. Ground floor segmental arch windows (double side-hung 6-paned timber casements) and door (simple timber flush-panelled style). Upper storey windows as ground, with flat timber lintels. Brick dentil course to eaves. Brick garden wall to north side. Position directly on roadside at outside of curve provides excellent definition of street space.



Silvesters Cottages (nos. 1 - 9)

Row of C19th cottages, of simple construction natural rendered with plain tiled roofs. Define the western edge of the village.



Church Cottage, Old Ways Cottage

Formerly single storey outbuildings to estate houses nos. 3 - 10 on the main street. Almost identical style and detailing, although single storey. Valuable as part of the Model Village concept and development, and important roofscape in views from upper areas of village.



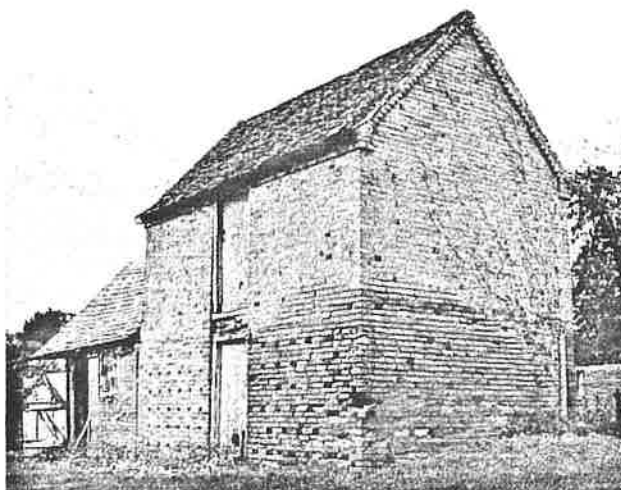
Village Cross

Stone memorial with Celtic cross and stepped base. Key village feature.



Water pump, adjacent building no. 43

Cast iron pump, hexagonal section with decorative handle and tracery detail in side panels.



Storehouse, opposite Park Farm

C18th/19th red brick 2-storey storehouse in Flemish bond.

with burnt headers to lower storey. Upper storey probably later addition, including dentil eaves course and saw-tooth corbelled brick gable detailing. 45° plain tiled roof. Narrow loading doors in centre of elevation on lower and upper storeys. Single storey stable addition to left side, with slate roof. Condition generally poor.

Appendix C - Key to tree and hedge species

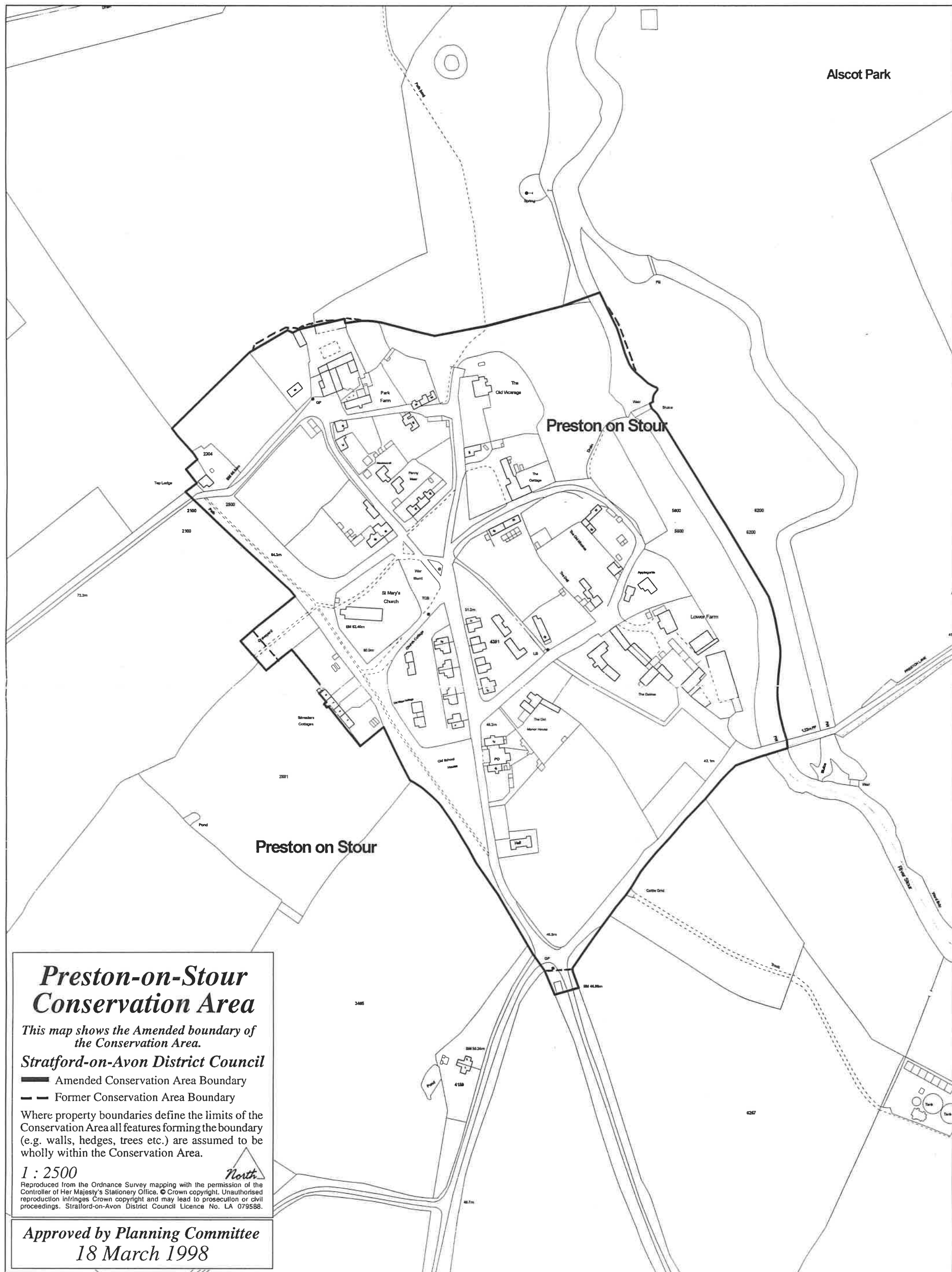
Key to figures

Trees

A	Ash	<i>Fraxinus Excelsior</i>	Ly	Leyland Cypress	
Ap	Apple	<i>Malus spp</i>			<i>Cupressocyparis Leylandii</i>
Bc	Beech	<i>Fagus Sylvatica Purpurea</i>	M	Maple	<i>Acer Platanoides (Drumm.)</i>
C	Conifer		O	Oak	<i>Quercus Robur</i>
Ch	Cherry	<i>Prunus</i>	Pp	Poplar	<i>Populus Nigra</i>
HC	Horse Chestnut	<i>Aesculus Hippocastrium</i>	Prp	Purple prunus	<i>Prunus spp</i>
Ha	Hawthorn	<i>Crataegus Monogyna</i>	Ps	Scots Pine	<i>Pinus Sylvestris</i>
Ho	Holly	<i>Ilex Aquifolium</i>	R	Rowan	<i>Sorbus Acuparia</i>
Hx	Hazel	<i>Corylus Avellana</i>	Stb	Silk-tassle bush	<i>Garrya Elliptica</i>
GC	Golden conifer		Sy	Sycamore	<i>Acer Pseudoplatanus</i>
L	Lime	<i>Tilia x Europaea</i>	Ww	Weeping Willow	
La	Laurel	<i>Laurus spp</i>			<i>Salix Chrysocoma</i>
Lr	Larch	<i>Larix Decidua</i>	Wn	Walnut	<i>Juglans Regia</i>
			Y	Yew	<i>Taxus Baccata</i>

Hedgerows

- Hawthorn hedge and bramble, requires attention
- Hawthorn hedge, part well maintained, part overgrown
- 5m high Leyland Cypress, clipped, very dominant
- Mixed deciduous hedge each side of footpaths, 2m high to The Gables, 1m to the other side.
- Beech, hawthorn to east section, 3m high
- Mixed deciduous hedge behind larch lap fence
- Beech and holly, 2m
- Mixed deciduous hedge with holly, 2m
- Mixed deciduous hedge, overgrown
- Ditto
- Ditto, 3 - 4m high
- Neat clipped mixed deciduous hedge, 1m high
- Conifer hedge
- Overgrown hedge of yew, ash, sycamore, requiring attention
- Mixed deciduous hedge, partly overgrown, includes yew
- 4m cypress, over-dominant and obscures views of old schoolhouse
- Large mixed deciduous field hedges, well maintained
- Mixed deciduous field hedge, large and a little straggly
- Mixed deciduous hedge, tall, partly removed for construction of modern houses and not replaced
- Neatly clipped coniferous garden hedge, 1.8m high
- Mixed deciduous hedge, well maintained, 1.5 m high
- Laurel - 3m high
- Conifer hedge 2.5m, clipped
- Deciduous shrubs, clipped conifer hedge growing above retaining wall (2m)
- Field hedge, unmaintained and growing into small trees
- Laurel hedge to cemetery



Location : Preston-on-Stour Conservation Area

Parish : Preston-on-Stour

Scale 1:2500

Reproduced from the Ordnance Survey mapping with the permission of the Controller of Her Majesty's Stationary Office. © Crown Copyright. Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings. Stratford-on-Avon District Council, Licence No. LA079588. 1990s.

